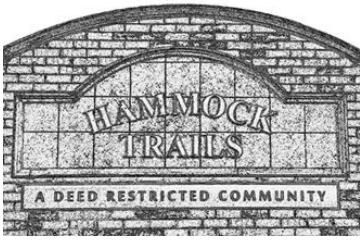


HAMMOCK TRAILS HOA Shed Application

Included In This Document:

- Shed Application
- Exhibit A - Rules and Regs for Sheds
- Shed Parameters
- Property Setbacks (PD15-00005)
- County Shed Example

Application



HAMMOCK TRAILS HOMEOWNERS ASSOCIATION, INC.
ARCHITECTURAL REVIEW BOARD (ARB) SHED APPLICATION

MAIL APPLICATION TO: 1631 E. VINE STREET, SUITE 300
KISSIMMEE, FL 33896

OR EMAIL ARB DEPARTMENT: arb@artemislifestyles.com
OFFICE: (407) 705-2190

Name _____ Email: _____

Property Address _____

Mailing Address _____ City _____ State _____ Zip _____

Phone (s) Home _____ Mobile/Cell _____ Work _____

In accordance with the Declaration of Covenants, Conditions and Restrictions; and the Association's "Rules and Regulations Regarding Sheds (Exhibit A)": installation will conform to the conditions as set forth in the Association's guidelines, and the Board adopted resolution for sheds, and the Architectural Review Board conditions. **I hereby request your consent to for installing a shed on my lot.**

Please fill out the required information below – NOTE: Request WILL BE DENIED if application is not complete, and ALL three (3) pages submitted with supporting documentation!

Shed size:
Minimum --
7 feet long X 8 feet wide (56 square feet) OR
8 feet long X 7 feet wide (56 square feet)
Maximum --
10 feet long X 10 feet wide (100 square feet)

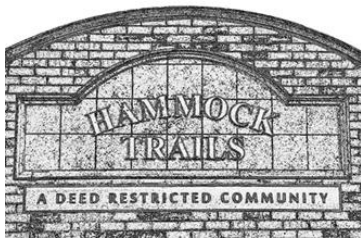
Peak

Maximum shed height from
ground/grade to peak:
8.0 feet

Ground/grade

Write dimension for shed in boxes provided
in feet.

Note: Metal sheds are NOT permitted at Hammock Trails. All other material, except metal, as approved by Osceola County is acceptable.
Note: APPLICATION will be DECLINED for ANY shed less than 56 square feet OR greater than 100 square feet and is greater than 8 feet in height!
Note: shed color must match the current color scheme of the residence for body/trim/door combinations
Note: shingles must match the current color and style of that on the residence



HAMMOCK TRAILS HOMEOWNERS ASSOCIATION, INC.

ARCHITECTURAL REVIEW BOARD (ARB) SHED APPLICATION

MAIL APPLICATION TO: 1631 E. VINE STREET, SUITE 300
KISSIMMEE, FL 33896

OR EMAIL ARB DEPARTMENT: arb@artemislifestyles.com

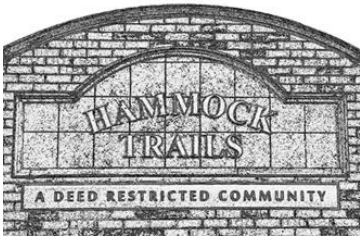
OFFICE: (407) 705-2190

Attach one (1) copy of the property survey that shows the location of the proposed shed. Attach one (1) set of drawings of your plan(s). Attach one (1) color samples.

I HEREBY UNDERSTAND AND AGREE TO THE FOLLOWING CONDITIONS:

1. I/we will follow the “Parameters/Requirements for Hammock Trails Sheds,” and “Rules and Regulations Regarding Sheds (Exhibit A)” as it relates to size, material, color, and property setback requirements.
2. I/we understand that, if not already installed, a fence will be installed as stated in the requirements.
3. **No work will begin until written approval is received from the Association, AND a building permit issued by the County. I have 60 days from the approval date, unless otherwise noted in the approval conditions, to complete the work. If not, then you must reapply for ARB approval.**
4. ****I/we will obtain ALL necessary governmental permits and approval for the work. I/we will be responsible for complying with ALL applicable federal, state, local laws, codes, regulations, and requirements in connection with this work.**
5. All work will be done expeditiously once commenced and will be done in a professional manner by a licensed contractor or myself.
6. All work will be performed in a timely manner that will minimize interference and inconvenience to other residents.
7. I/we assume all liability and will be responsible for any and all damages to other lots and / or common area, which may result from performance of this work.
8. I/we will be responsible for the conduct of all persons, agents, contractors, subcontractors, and employees who are connected with this work.
9. **Upon completion, I/we will contact the Association to have one of its representatives (HOA board member, ARB/C member or management company manager) to inspect the installation for aesthetics. THIS IS NOT A BUILDING INSPECTION which WILL BE REQUIRED by the County building department.**
10. Upon receipt, Artemis Lifestyles will forward the “ARB Application for A Shed” to the Association. A decision by the Association may take up to **30 days**. I/we will be notified in writing when the application is either approved or denied.
11. **I/we understand that approval of this application is not a permit to begin installation/construction of the shed.**

****You MUST obtain a building permit from the Osceola County building department prior to installation/construction.**



HAMMOCK TRAILS HOMEOWNERS ASSOCIATION, INC.

ARCHITECTURAL REVIEW BOARD (ARB) SHED APPLICATION

MAIL APPLICATION TO: 1631 E. VINE STREET, SUITE 300
KISSIMMEE, FL 33896

OR EMAIL ARB DEPARTMENT: arb@artemislifestyles.com

OFFICE: (407) 705-2190

Signature Page

ALL HOMEOWNERS ARE RESPONSIBLE FOR FOLLOWING THE RULES AND GUIDELINES OF THEIR ASSOCIATION WHEN MAKING ANY EXTERIOR MODIFICATIONS, REFERENCE THE "ARCHITECTURAL REVIEW BOARD STANDARDS AND GUIDELINES FOR DETACHED SINGLE-FAMILY COMMUNITIES."

Signature of Owner(s): _____ Date: _____

Signature of Owner(s): _____ Date: _____

Important!! Submit all pages 1 through 3 for processing along with the supporting documents.

Exhibit A

HAMMOCK TRAILS HOMEOWNERS ASSOCIATION,

EXHIBIT A

**RULES AND REGULATIONS REGARDING
SHEDS**

These rules are intended to provide guidelines to assist Members of HAMMOCK TRAILS HOMEOWNERS ASSOCIATION, INC. (hereinafter "Association") in consideration of and installation of sheds. These rules have been promulgated in accordance with the Association's governing documents. Unless otherwise indicated, all terms used herein shall have the meaning given to them in that certain "Declaration of Conditions, Covenants, Easements and Restrictions for Hammock Trails," recorded in Official Records Book 3233, at Page 2097, *et seq.*, of the Public Records of Osceola County, Florida, as amended and supplemented, unless otherwise noted.

While there, ostensibly, is a basis for the Association through its ARB to allow variances for sheds on a per owner basis, the Association prefers that its policy be uniform for everyone so that it is fair and consistent. Given this, the Association has chosen to permit sheds, provided they meet certain standards and requirements. Therefore, the Association has decided to enact ARB Guidelines with respect to requirements that need to be met for all future sheds. As such, while sheds, pursuant to the Association's Governing Documents, are, ostensibly, prohibited, the Board has chosen to permit owners to have sheds provided they meet such requirements, in accordance with Article VI, Section 6.10 of the Declaration. As such, the Association will prospectively only permit sheds which meet the criteria set forth in this Exhibit A as provided below and as provided with additional detail as attached.

No storage or utility shed(s) (hereinafter collectively referred to as "Shed(s)") shall be commenced, erected or maintained upon any Lot within said Properties, nor shall any exterior addition to, change or alteration, including the changing of the existing color of paint or of roofing materials therein, be made or undertaken with regard to any Shed on any Lot until the plans and specifications showing the nature, kind, shape, dimensions, height, color, materials and location of the same shall have been submitted within a "property change request" to, and approved in writing by, the Architectural Review Board, or by the Board of Directors, if such Architectural Review Board does not exist.

The review of such request regarding a Shed shall be conducted in accordance with Article VI, Section 6.10 of the Declaration. No Shed shall have floor area dimensions which exceed, by any measure, ten feet (10') by ten feet (10'); no Shed shall have a floor area of less than fifty (56) square feet or greater than one-hundred (100) square feet; and no Shed shall exceed eight feet (8') in height above grade at the location of the Shed. All Sheds shall be constructed of wood or ~~any~~ **other County building department approved material** (e.g., no metal Shed shall be permitted) and shall be painted in the same color(s), in the same body/trim/door combinations, as those color(s) on the Residence located on the same Lot. All Sheds shall have an asphalt or fiberglass-shingled roof in a color and style matching (as closely as possible as determined by the Architectural Review Board or Board of Directors) the Residence located on the same Lot. No more than one Shed shall be permitted to be on any Lot at any time.

The construction, placement and/or location of all Sheds shall comply with any and all county, city, and Association setback requirements, and the Lot Owner installing or constructing such Shed shall comply with all county and/or city permitting and inspection requirements. Additionally, all Sheds shall be placed or constructed rearward of the rearmost plane of the Residence located on each Lot (e.g., all Sheds shall be placed in the backyard of each Lot). No Shed shall be permitted to be placed or constructed in such a way that any plane of any side of the Shed would extend toward the lot boundaries beyond any plane of any side (other than the rear) of the Residence located on each Lot (e.g., no Shed shall be placed in any sideyard of any Lot).

No Shed shall be used for any business or commercial use. No Shed shall be used for the storage of any automobiles. The Owner of the Lot upon which the Shed is installed or constructed shall assume all liability for the use of the Shed and any materials stored within the Shed. All Sheds shall be maintained to the same standards required of any Residence on any Lot, as provided for by the Association's governing documents, including the Declaration, and any further rules and regulations as adopted by the Association.

Shed Parameters

Parameters/Requirements for Hammock Trails Sheds:

- 1) Minimum shed footprint (no exceptions)
 - a. 7 feet long X 8 feet wide (56 square feet)
 - b. 8 feet long X 7 feet wide (56 square feet)
- 2) Maximum shed footprint
 - a. 10 feet long X 10 feet wide (100 square feet)
- 3) Maximum shed height shall not exceed 8 feet at the peak
- 4) **ONLY ONE SHED WILL BE PERMITTED PER LOT**
- 5) Shed construction
 - a. Shed shall follow construction standards as set forth by Osceola County
 - b. Shed shall be mounted to concrete slab or alternate method of mounting as accepted by County
- 6) Shed material
 - a. **NO METAL** sheds will be permitted within Hammock Trails (no exceptions)
 - b. Shed will be wood or ~~vinyl~~ **other County building department approved material and stamped by a Florida licensed architect or engineer.**
 - c. Shed roof will be asphalt shingle only (NO METAL, NO TILE/CERAMIC material permitted)
- 7) Shed color
 - a. Shed color shall match home's current scheme (no exceptions)
 - b. Shed roof shingles shall match home's current style and color (no exceptions)
- 8) Shed location within property
 - a. Shed shall be in rear yard of residence only
 - b. Shed shall comply with Osceola County Zoning and Building Dept setbacks **as established by PD15-00005 (HAMMOCK TRAIL Planned Residential Development Amendment)**
 - i. Minimum side yard setback 5 feet (see **Appendix A**)
 - ii. Minimum side yard setback (corner property) 15 feet (see **Appendix A**)
 - iii. Minimum rear yard setback 15 feet (see **Appendix A**)
 - c. Shed shall be OUT OF VIEW from public at adjacent properties (including common areas, parks, neighboring homes, and roadways)
 - i. Rear yard and side yards shall be fenced in with 6 feet fence (see **HAMMOCK TRAILS HOMEOWNERS ASSOCIATION, ARCHITECTURAL REVIEW BOARD STANDARDS AND GUIDELINES FOR DETACHED SINGLE FAMILY COMMUNITIES, HANDBOOK FOR HOMEOWNERS, pages 6 – 7**)
 - ii. If rear faces another home or HOA common park area, a 6 feet fence will be required (no exception)
 - iii. If rear faces waterfront, then the 6 feet rear fence does not apply (see **HAMMOCK TRAILS HOMEOWNERS ASSOCIATION, ARCHITECTURAL REVIEW BOARD STANDARDS AND GUIDELINES FOR DETACHED SINGLE FAMILY COMMUNITIES, HANDBOOK FOR HOMEOWNERS, pages 6 – 7**)
- 9) Applicant will apply for building permit from County AND obtain inspection upon completion from County for construction AND HOA for proper aesthetic compliance.

APPENDIX A
(Property setbacks
as required by County zoning for
Hammock Trails, PD15-00005)

1.6.3 Development Standards:

Single Family Detached:

Minimum Lot width measured at midpoint of lot	50 feet
Minimum Lot Area	5,500 sf
Maximum building height	2 stories
Maximum impervious area	75% of lot
Minimum air-conditioned living area	1,200 sf
Minimum building setback from Ham Brown Road	50 feet *
Minimum building setback from buffers	0
Minimum front yard setback for a/c portion of building	20 feet
Minimum front yard setback for front loaded garage	25 feet
Minimum front yard setback for covered front porch	10 feet
Minimum side yard setback for pools, patios, decks or ancillary structures	5 feet
Minimum side yard setback for buildings (including patios and front porches that are not ancillary to the building) on lots 399-410 & 433-447 (There will be no side access from any part of the building and no AC pads in the side yard for these lots)	3.5 feet
Minimum side yard setback for buildings (including patios and front porches that are not ancillary to the building) on lots 353-356, 358-369, & 448 (There will be no side access from any part of the building and no AC pads in the side yard for these lots)	4 feet
Minimum side yard setback for building on all other lots	5 feet
Minimum side corner setback for buildings, pools, patios, decks or ancillary structures	15 feet
Minimum corner setback for side entry garage	20 feet
Minimum rear yard setback for buildings, ancillary structures, roofed patios or decks	15 feet
Minimum rear yard setback for open or soft covered patios, decks or pools	5 feet
Minimum rear yard setbacks for pool edge	8 feet
Minimum lot frontage	35 feet

APPENDIX B
(Example of Acceptable Shed Plan
For Hammock Trails)

**STANDARD PLANS
for
LAWN STORAGE BUILDINGS
or
SHEDS**

The Osceola County Building Department is pleased to announce a new program for owners who wish to build their own lawn storage building or shed. The department's Plan Review staff has come up with a typical design which can be used to construct a framed building with a maximum width and length of 10 feet. The plans also give you an option of placing doors and windows in the building, allows you to choose the type of exterior finish and also gives you the option to place the building on a slab or to use an anchored wood floor system. We feel that giving the average homeowner the option to use these plans will save them the cost of hiring an Architect or Engineer and will ensure us of having a properly constructed building. The plans are simple to read and there are many details and notes provided to guide even the "novice builder" through the project.

We hope that this program will help the residents of Osceola County to save money and also experience a feeling of accomplishment from building a successful project. Ask a Permit Technician for more information.

Good Luck with the project!

OSCEOLA COUNTY BUILDING DEPARTMENT

“Serving residents and visitors of Osceola County”
1 Courthouse Square - Room 1400 - Kissimmee FL 34741
ph (407)343-2225, fax (407)343-2266, www.osceola.org

BUILD - A - SHED

Standard Details for Wood Framed Sheds

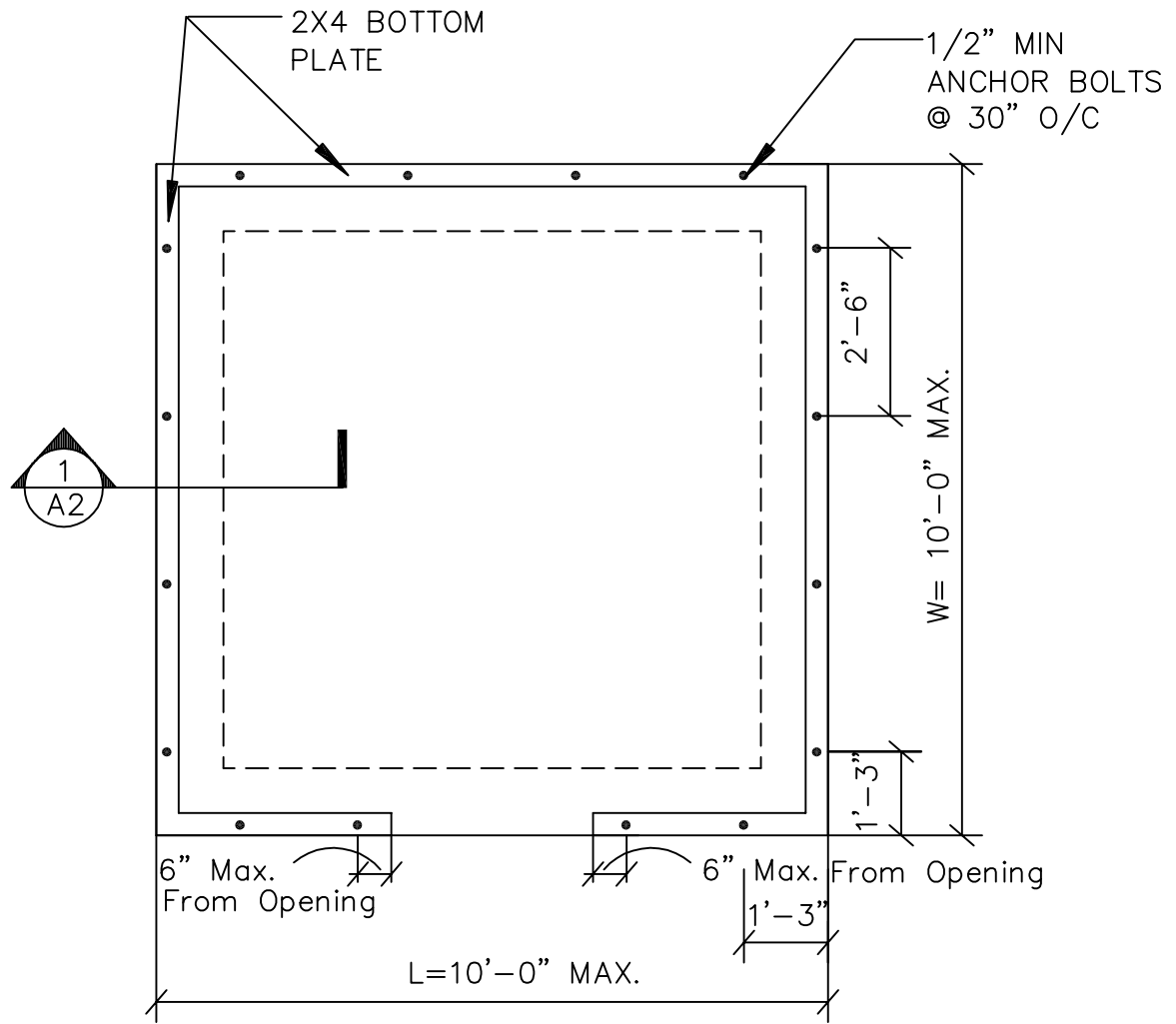
Index to Drawings	
Description	Drawing No.
Cover Sheet	C-1
General Notes	G-1
Foundation Plan (Option 1)	A-1
Wall Section	A-2
Enlarged Details	A-3
Floor Framing Plan (Option 2)	A-4
Cable Tie Down Details	A-5
Floor Framing	A-6
Wall Framing	A-7
Framing at Door Opening	A-8
Framing at Window Opening - Sidewall	A-9
Framing at Window Opening - Endwall	A-10
Connector Details	A-11
Ridge Beam and Collar Beam Details	A-12
Roof Framing Plan	A-13
Nailing Pattern	A-14

Wood Framed Sheds	Cover Sheet	Dwg. Number:	C-1
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General Notes

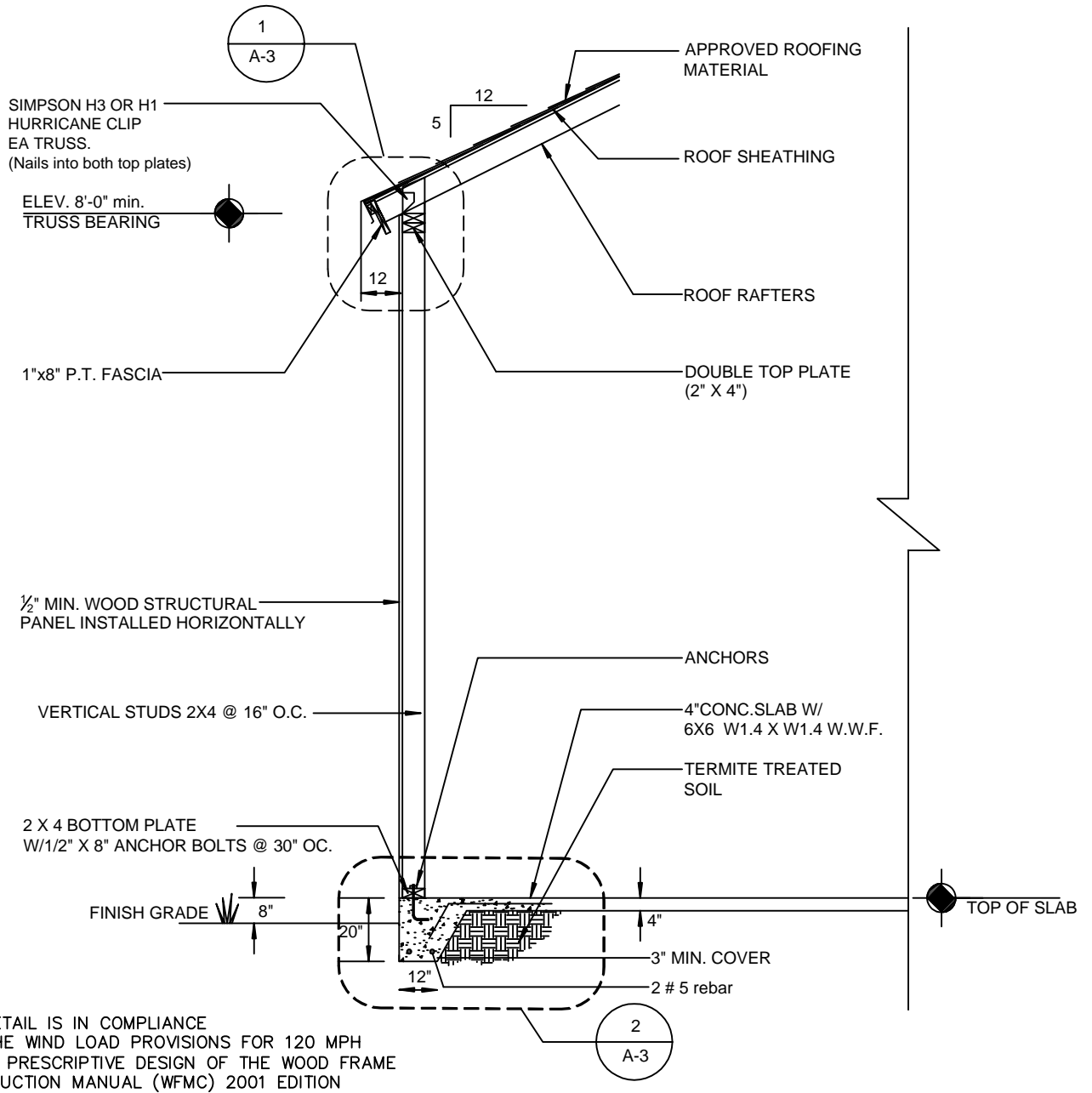
1. Prescriptive design parameters are according to The Wood Frame Construction Manual 2001 Edition under the provisions of section 1606.1.1, paragraph (4) of the Florida Building Code - 2001 Edition.
2. Wall sheathing shall be exterior grade wood structural panel with a minimum thickness of ½ inch if installed horizontally with long dimension on vertical studs or a minimum thickness of 19/32 inch if installed vertically on studs.
3. Exterior wall vapor barrier, siding or finish is optional.
4. Wall studs spacing shall not exceed 24" on center.
5. Window openings are optional, locations are at the center of the wall. Width of window opening shall not exceed 4 ft.
6. Header lumber for window and door openings up to 4 ft wide shall be made of 2-2"x 4".
7. Jack studs to support headers on window and door openings up to 4ft wide shall be made of 1-2" x 4" located at each end of the header.
8. Roof rafter spacing shall not exceed 24" on center.
9. Collar ties (collar beams) of nominal 2"x 4" lumber shall be located in the upper third of the attic space and attached to rafters with a minimum of 2-10d common nails at each end.
10. Roof sheathing shall be a minimum of 7/16" thick of wood structural panel and shall be installed with the long dimension across the rafter supports. Edges of all 7/16 inch roof structural panel supported at 24" on center, shall be supported with blocking or edge clips.
11. Roof structural panel shall be attached to supports with 8d common nails or 10d box nails and spacing shall not exceed 6" on center.
12. Roofing material, windows and doors shall have a Florida product approval and shall be installed according to manufacturer's specifications.

Wood Framed Sheds	General Notes	Dwg. Number:	G-1
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THIS DETAIL IS IN COMPLIANCE WITH THE WIND LOAD PROVISIONS FOR 120 MPH OF THE PRESCRIPTIVE DESIGN OF THE WOOD FRAME CONSTRUCTION MANUAL (WFMC) 2001 EDITION

WOOD FRAMED SHEDS	OPTION 1	DETAIL NUMBER: A-1	
	SLAB ON GRADE	SPEC. NUMBER: 45MM	
FOUNDATION PLAN		SCALE: 3/8"=1'-0"	
		DATE: 12/14/04	REVISION DATE: 3/15/05
		DRAWN BY: ANGEL	APPROVED BY:



1
A-2

STANDARD DETAIL

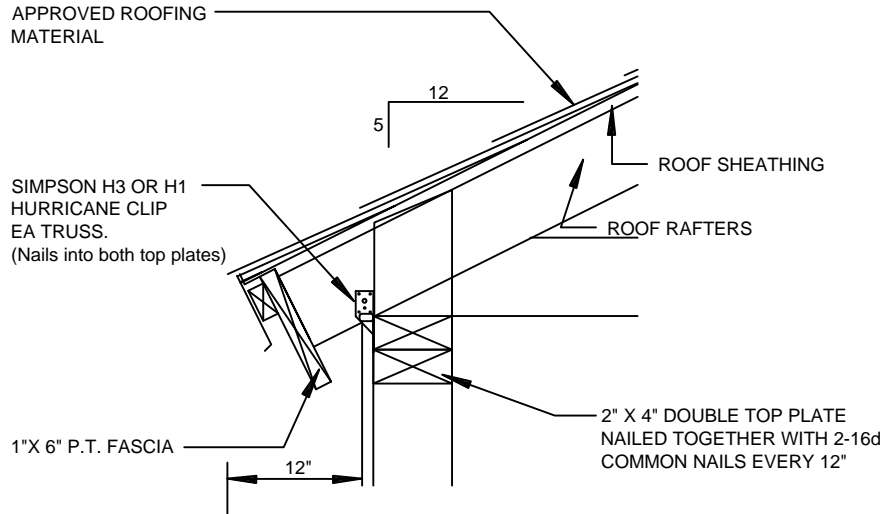
SCALE= 1/4"=1'-0"

WOOD FRAMED
SHEDS

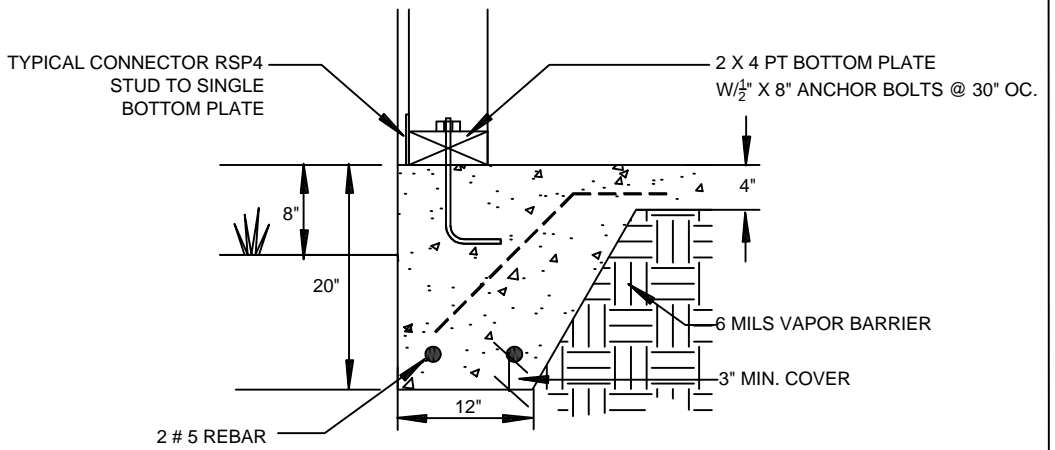
STANDARD DETAIL

WALL SECTION

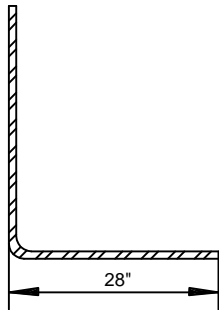
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SPEC. NUMBER:		45MM
SCALE:		1/4"=1'-0"
DATE:	REVISION DATE:	
12/14/04	3/15/05	
DRAWN BY:	APPROVED BY:	
ANGEL		



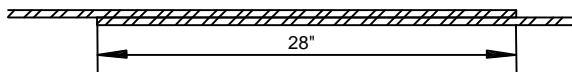
1 **WALL TO ROOF DETAIL**
A-3 SCALE= 3/4"=1'-0"



2 **FOUNDATION DETAIL**
A-3 SCALE= 3/4"=1'-0"



4 **STANDARD HOOKS FOR #5 BAR**
A-3 SCALE= 3/4"=1'-0"



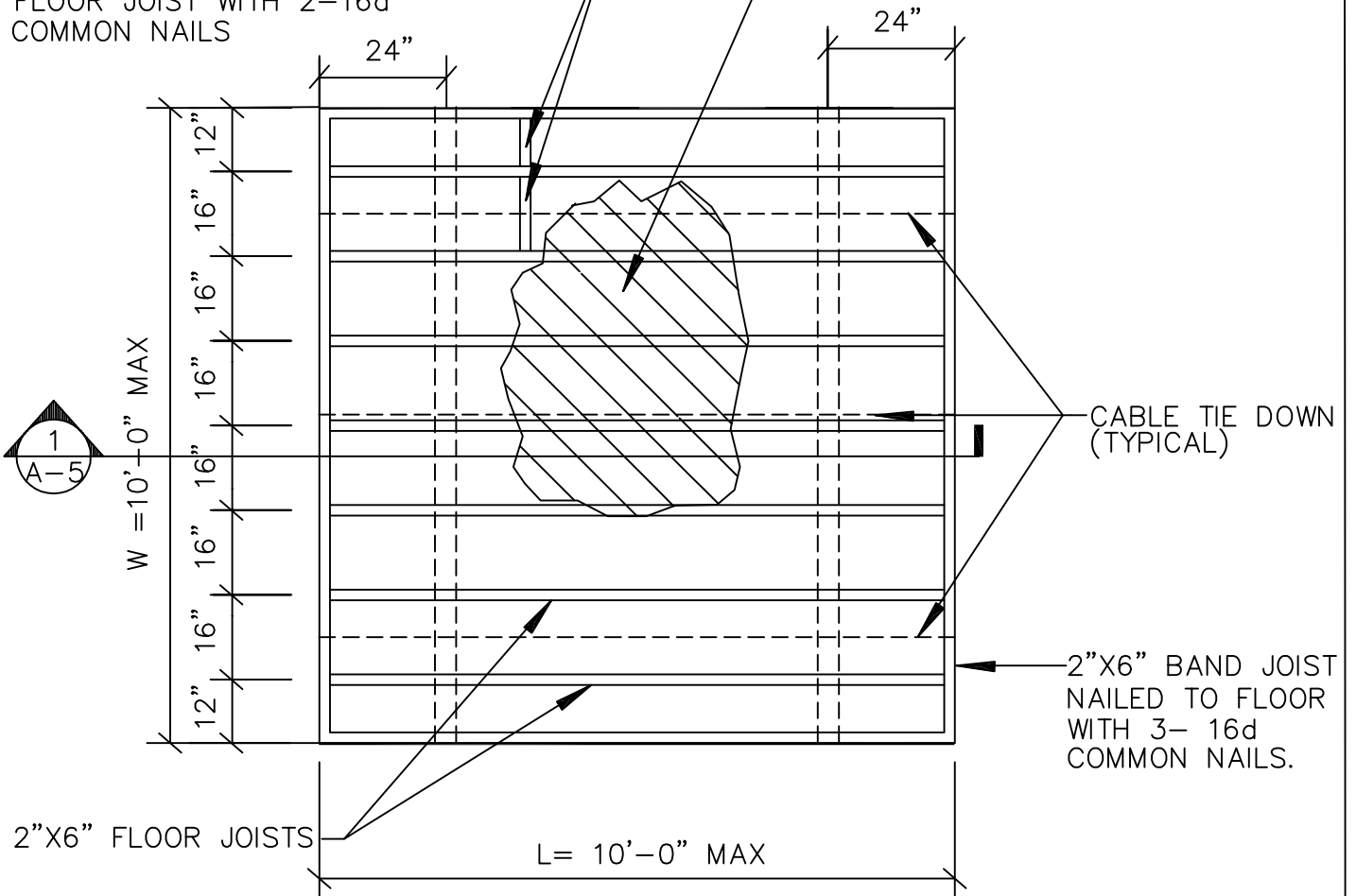
3 **SPlice DETAIL FOR #5 BAR**
A-3 SCALE= 3/4"=1'-0"

THIS DETAIL IS IN COMPLIANCE WITH THE WIND LOAD PROVISIONS FOR 120 MPH OF THE PRESCRIPTIVE DESIGN OF THE WOOD FRAME CONSTRUCTION MANUAL (WFMC) 2001 EDITION

WOOD FRAMED SHEDS	STANDARD DETAILS	DETAIL NUMBER: A-3	
	ENLARGED DETAIL	SPEC. NUMBER: 45MM	
		SCALE: 3/4"=1'-0"	
		DATE: 12/14/04	REVISION DATE: 3/15/05
		DRAWN BY: ANGEL	APPROVED BY:

5/8" WOOD STRUCTURAL PANEL ON FLOOR
 NAILED TO FLOOR JOIST AND BLOCKING WITH
 8d COMMON NAILS

2"X4" TYPICAL BLOCKING UNDERNEATH
 PLYWOOD JOINTS NAILED TO
 FLOOR JOIST WITH 2-16d
 COMMON NAILS



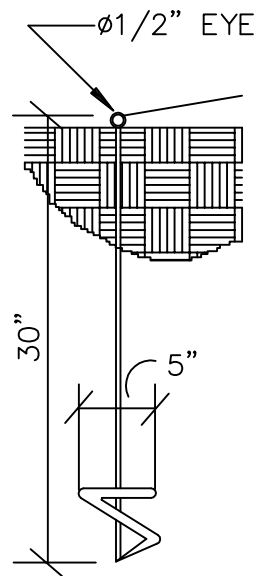
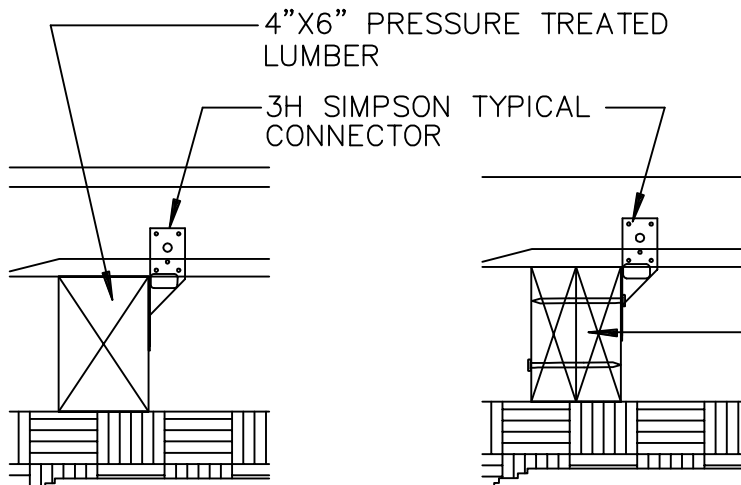
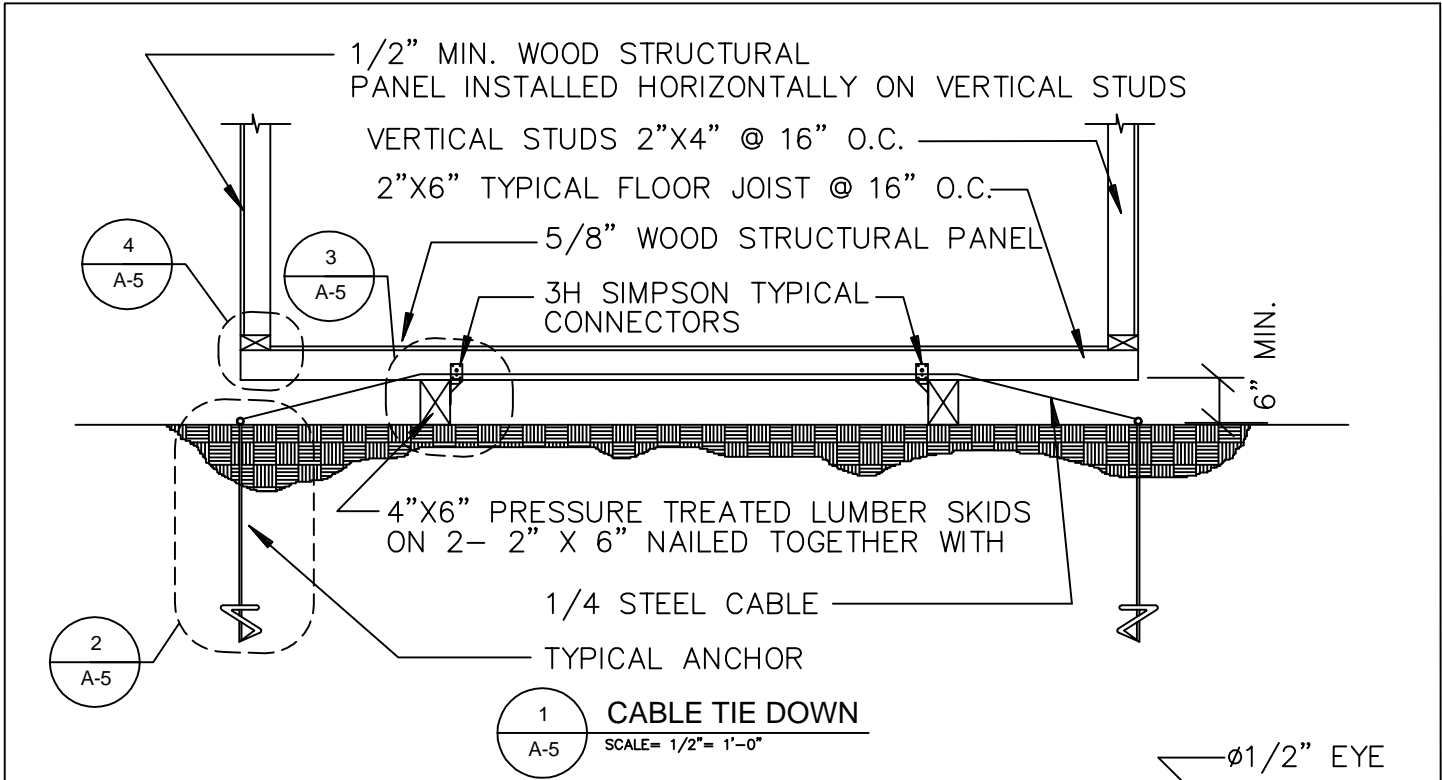
THIS DETAIL IS IN COMPLIANCE
 WITH THE WIND LOAD PROVISIONS FOR 120 MPH
 OF THE PRESCRIPTIVE DESIGN OF THE WOOD FRAME
 CONSTRUCTION MANUAL (WFMC) 2001 EDITION

WOOD FRAMED
 SHEDS

OPTION 2

FLOOR FRAMING PLAN

DETAIL NUMBER:		A-4
SPEC. NUMBER:		45MM
SCALE:		3/8"=1'-0"
DATE:	REVISION DATE:	
12/14/04	3/15/05	
DRAWN BY:	APPROVED BY:	
ANGEL		

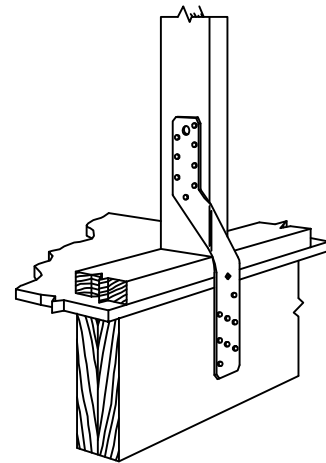


3 (OPTION A)
A-5 SCALE= 1-1/2"= 1'-0"

3 (OPTION B)
A-5 SCALE= 1-1/2"= 1'-0"

2 TYPICAL ANCHOR
A-5 SCALE= 1"= 1'-0"

WOOD FRAMED SHEDS	OPTION 2	DETAIL NUMBER:	A-5
	FLOOR FRAMING DETAIL	SPEC. NUMBER:	
CABLE TIE DOWN		SCALE:	1/2"=1'-0"
		DATE:	12/14/04
		REVISION DATE:	3/15/05
		DRAWN BY:	ANGEL
		APPROVED BY:	



2" X 4" TYPICAL VERTICAL STUDS
@16" O.C.

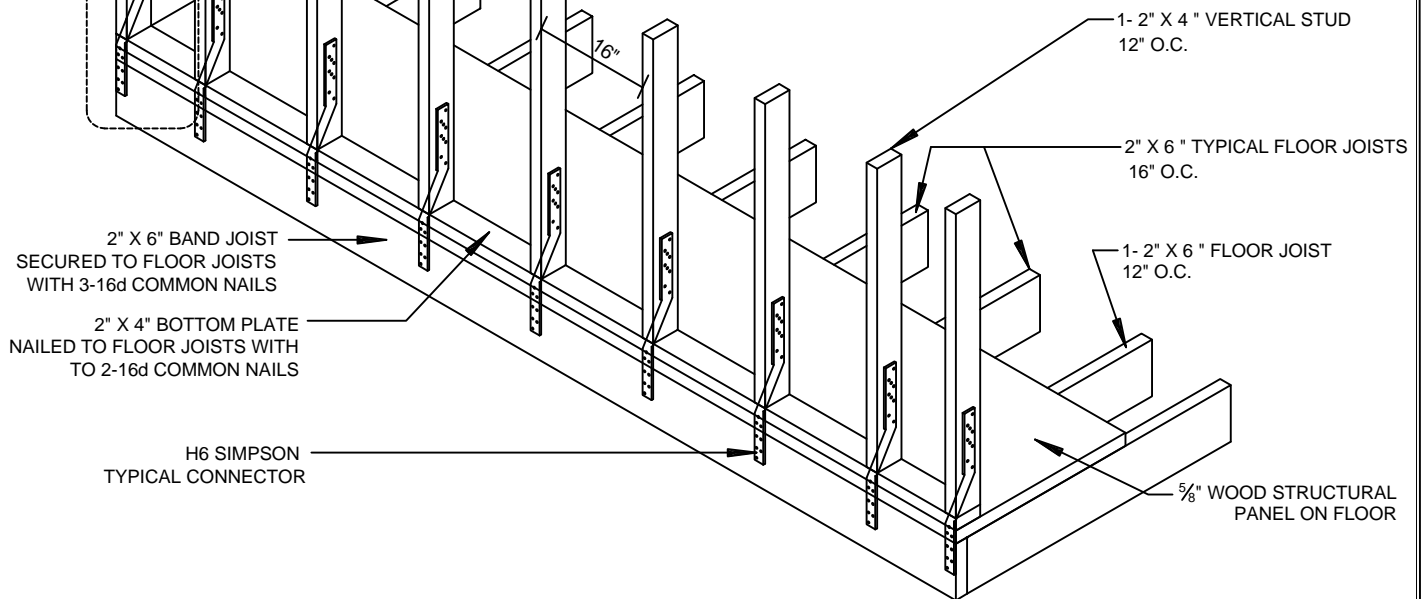
1
A-6

16 FASTENERS 8d COMMON NAILS

(H6) STUD TO BAND JOIST

1
A-6

SCALE= N.T.S.



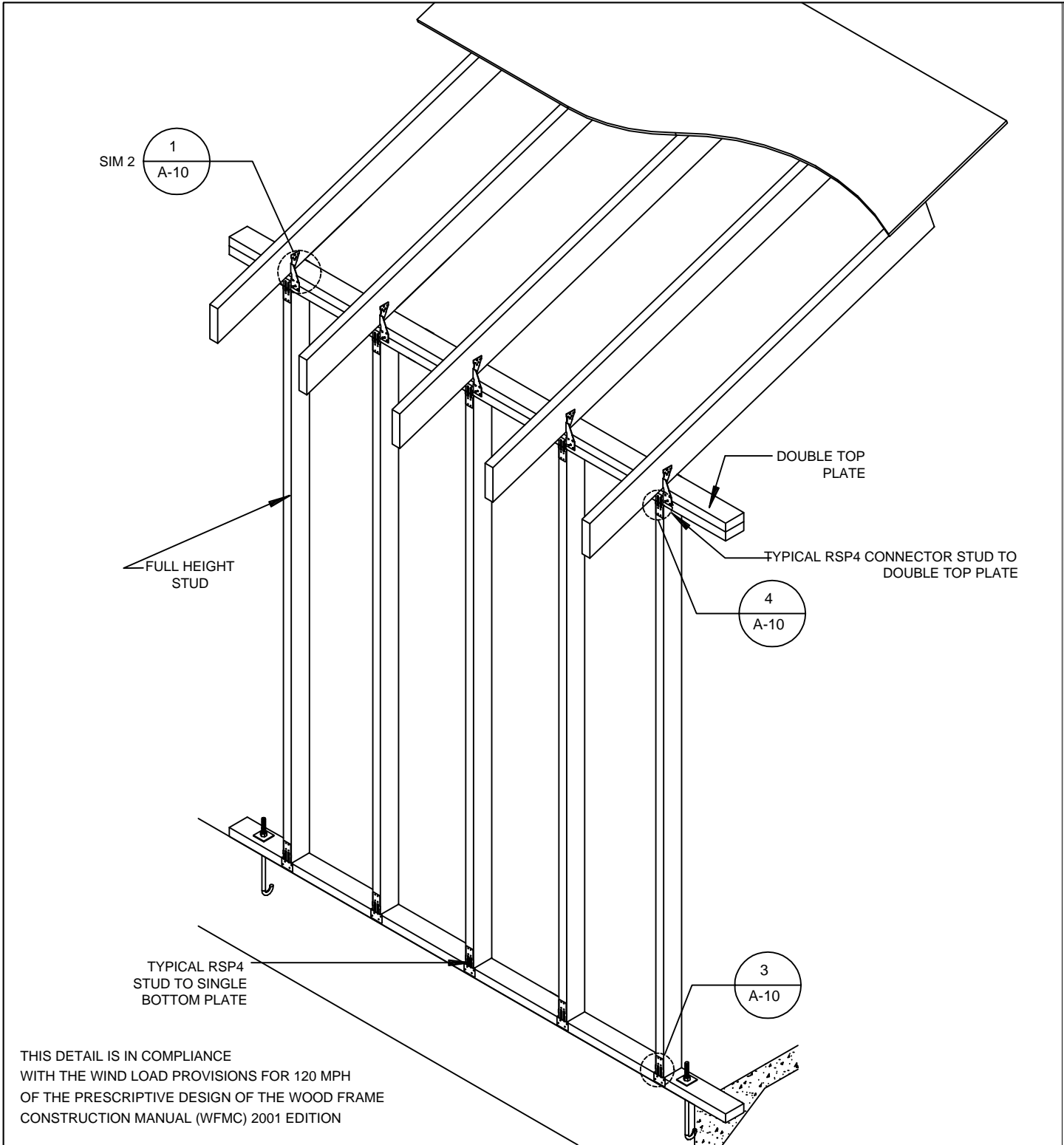
THIS DETAIL IS IN COMPLIANCE
WITH THE WIND LOAD PROVISIONS FOR 120 MPH
OF THE PRESCRIPTIVE DESIGN OF THE WOOD FRAME
CONSTRUCTION MANUAL (WFCM) 2001 EDITION

WOOD FRAMED
SHEDS

STANDARD DETAIL

FLOOR FRAMING

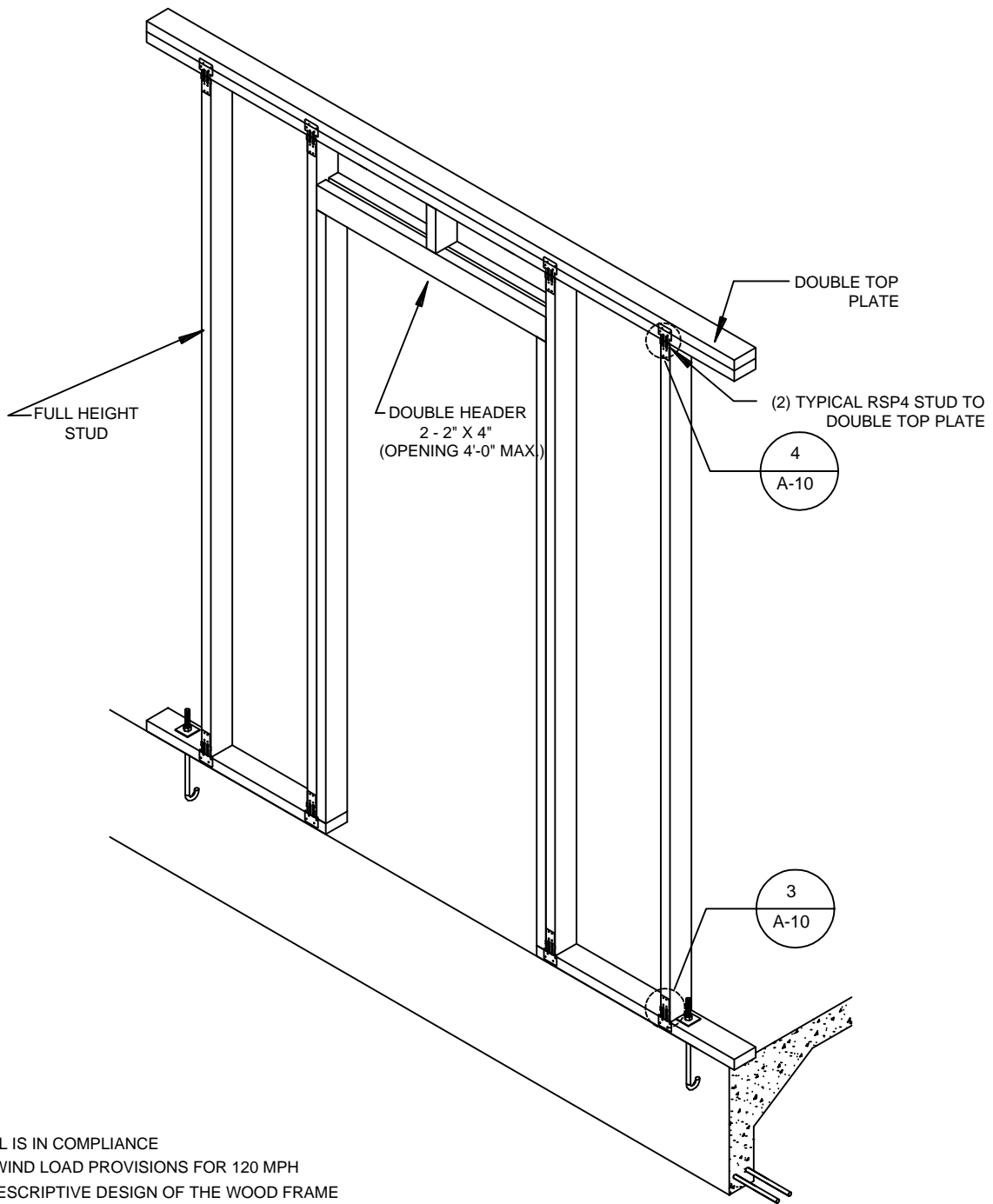
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SPEC. NUMBER:	45MM	
SCALE:	3/8"=1'-0"	
DATE:	12/14/04	REVISION DATE: 3/15/05
DRAWN BY:	ANGEL	APPROVED BY:



WOOD FRAMED SHEDS

STANDARD DETAIL WALL FRAMING

DETAIL NUMBER:		A-7
SPEC. NUMBER:		45MM
SCALE:		3/8"=1'-0"
DATE:	REVISION DATE:	
12/14/04	3/15/05	
DRAWN BY:	APPROVED BY:	
ANGEL		



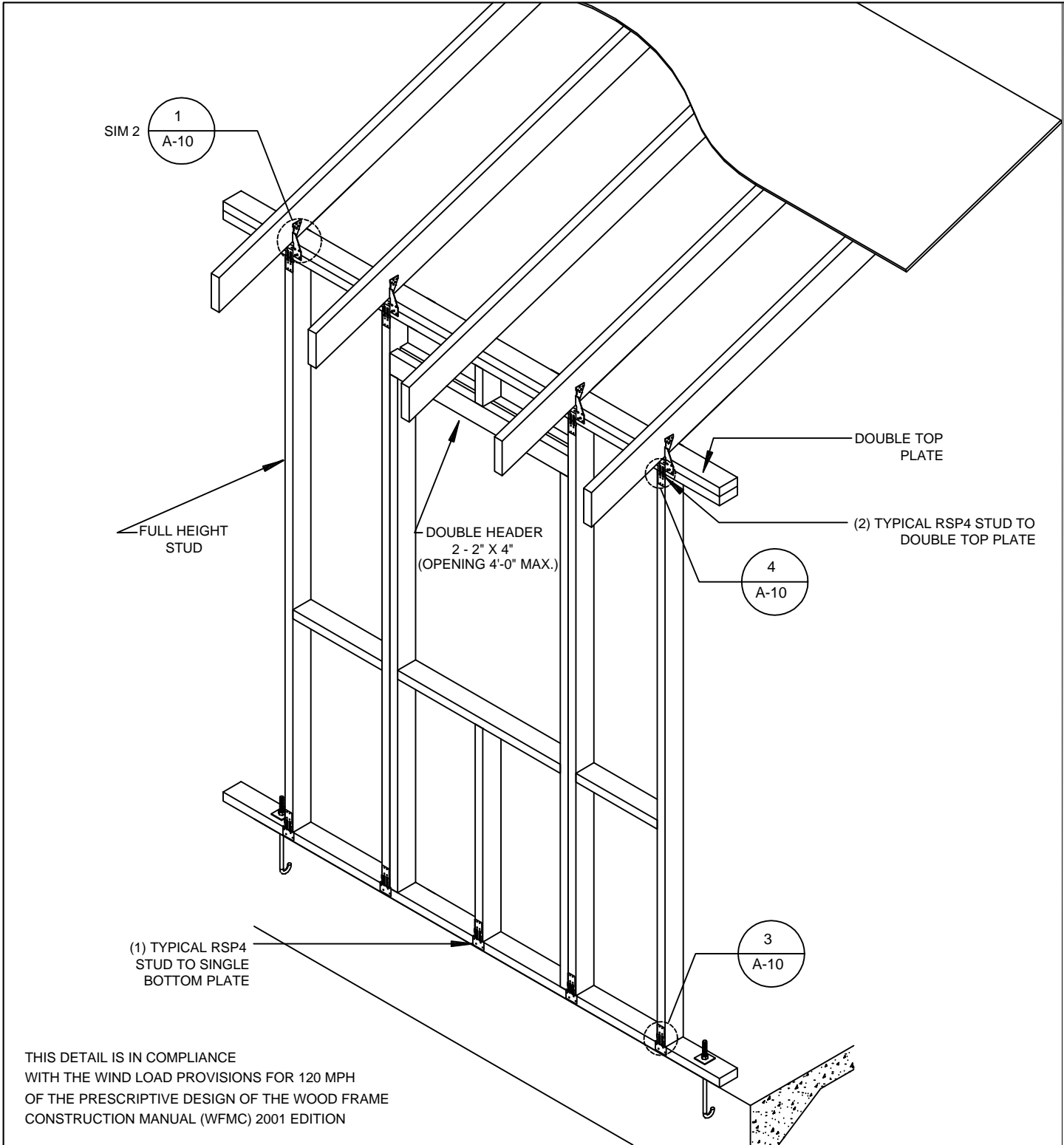
THIS DETAIL IS IN COMPLIANCE
 WITH THE WIND LOAD PROVISIONS FOR 120 MPH
 OF THE PRESCRIPTIVE DESIGN OF THE WOOD FRAME
 CONSTRUCTION MANUAL (WFMC) 2001 EDITION

WOOD FRAMED
 SHEDS

STANDARD DETAIL

FRAMING AT DOOR OPENING

DETAIL NUMBER:		A-8	
SPEC. NUMBER:		45MM	
SCALE: 3/8"=1'-0"			
DATE:	12/14/04	REVISION DATE:	3/15/05
DRAWN BY:	ANGEL	APPROVED BY:	



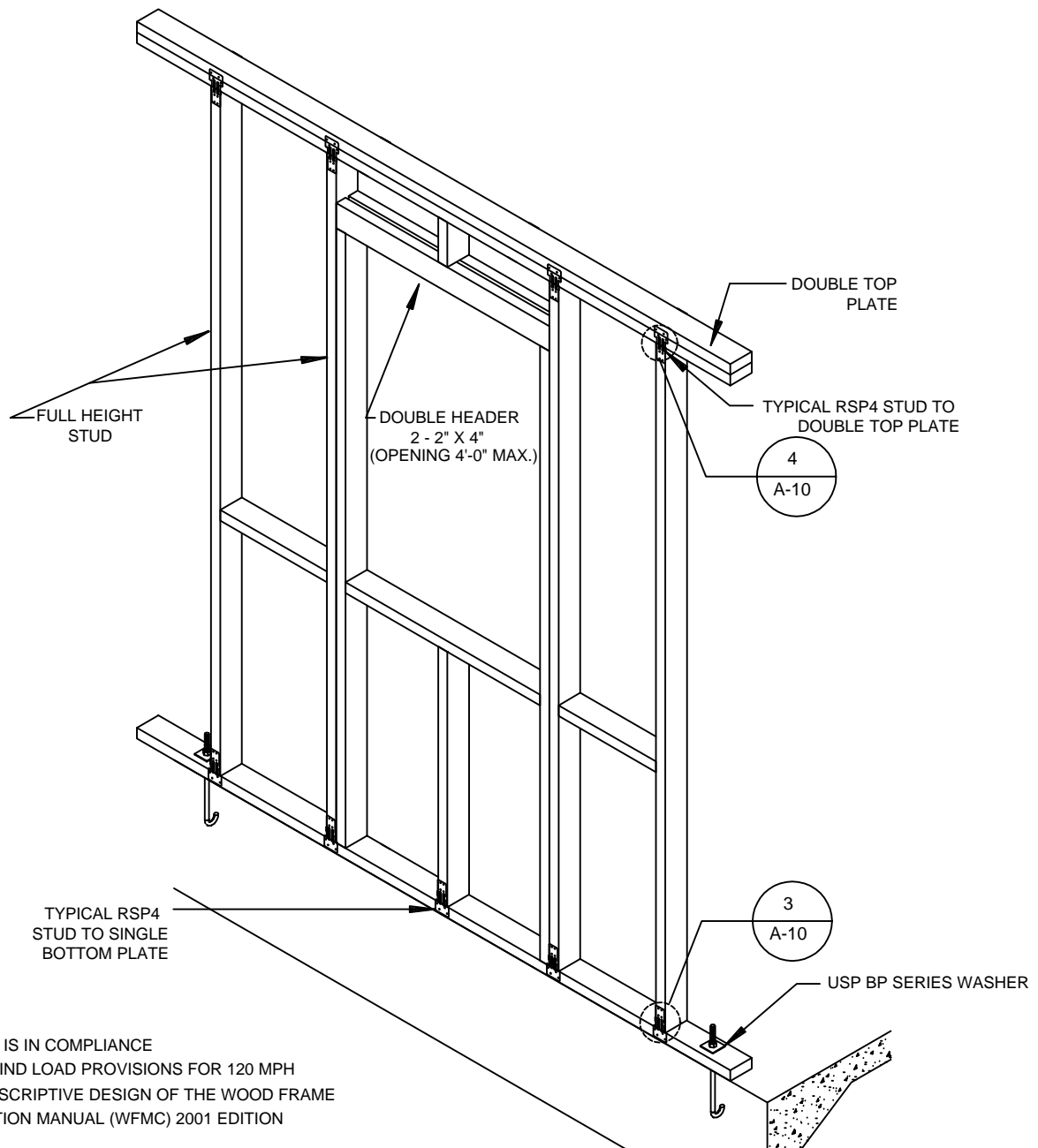
THIS DETAIL IS IN COMPLIANCE WITH THE WIND LOAD PROVISIONS FOR 120 MPH OF THE PRESCRIPTIVE DESIGN OF THE WOOD FRAME CONSTRUCTION MANUAL (WFMC) 2001 EDITION

WOOD FRAMED SHEDS

STANDARD DETAIL

FRAMING AT WINDOW OPENING SIDEWALL

DETAIL NUMBER:		A-9
SPEC. NUMBER:		45MM
SCALE:		3/8"=1'-0"
DATE:	REVISION DATE:	
12/14/04	3/15/05	
DRAWN BY:	APPROVED BY:	
ANGEL		



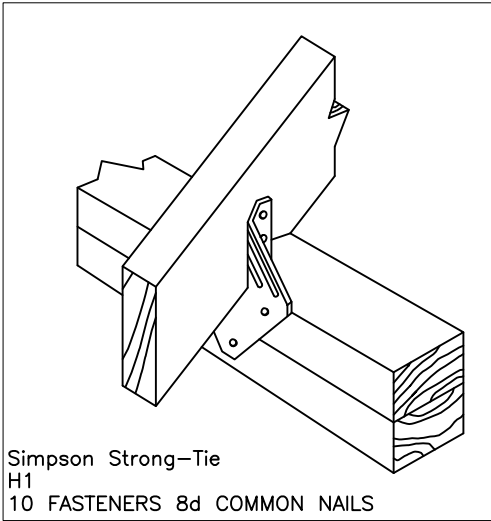
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WOOD FRAMED SHEDS

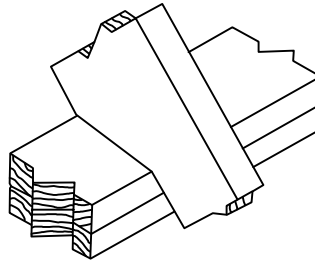
STANDARD DETAIL

FRAMING AT WINDOW OPENING ENDWALL

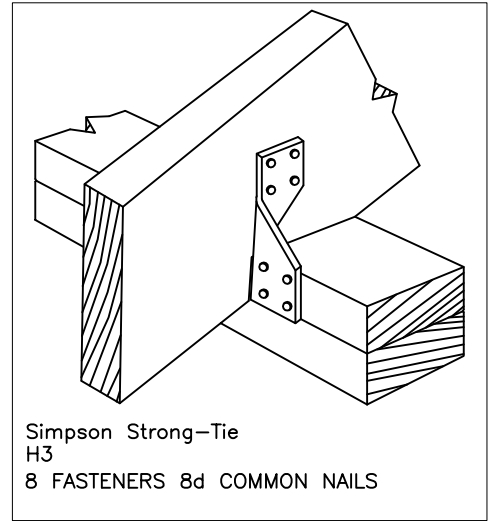
DETAIL NUMBER:		A-10	
SPEC. NUMBER:		45MM	
SCALE:		3/8"=1'-0"	
DATE:	12/14/04	REVISION DATE:	3/15/05
DRAWN BY:	ANGEL	APPROVED BY:	



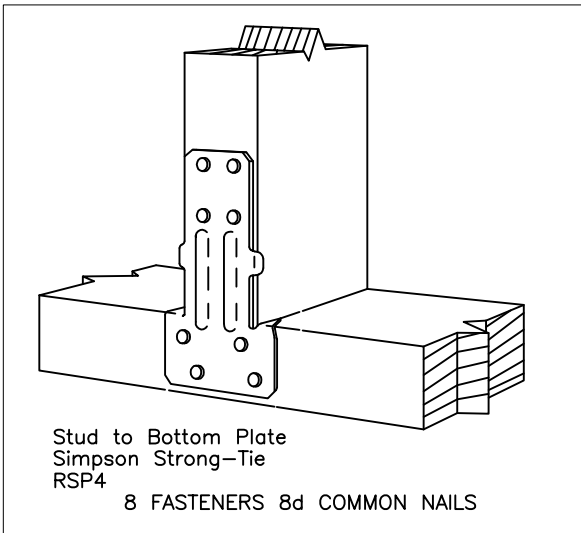
1 (H1) ROOF DETAIL
A-10 N.T.S.



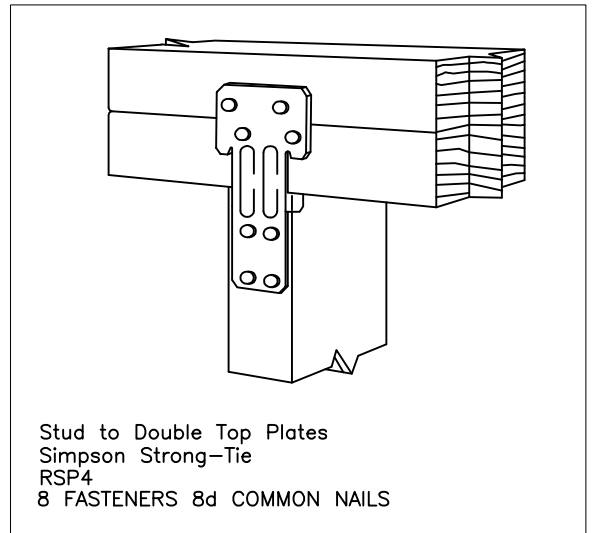
2 RAFTERS NOTCHED AT
TOP PLATE (BIRD MOUTH CUT)
A-10 N.T.S.



3 (H3) ROOF DETAIL
A-10 N.T.S.



4 (1) TYPICAL RSP4
STUD SINGLE BOTTOM PLATE
A-10 N.T.S.



5 (2) TYPICAL RSP4
STUD TO DOUBLE TOP PLATE
A-10 N.T.S.

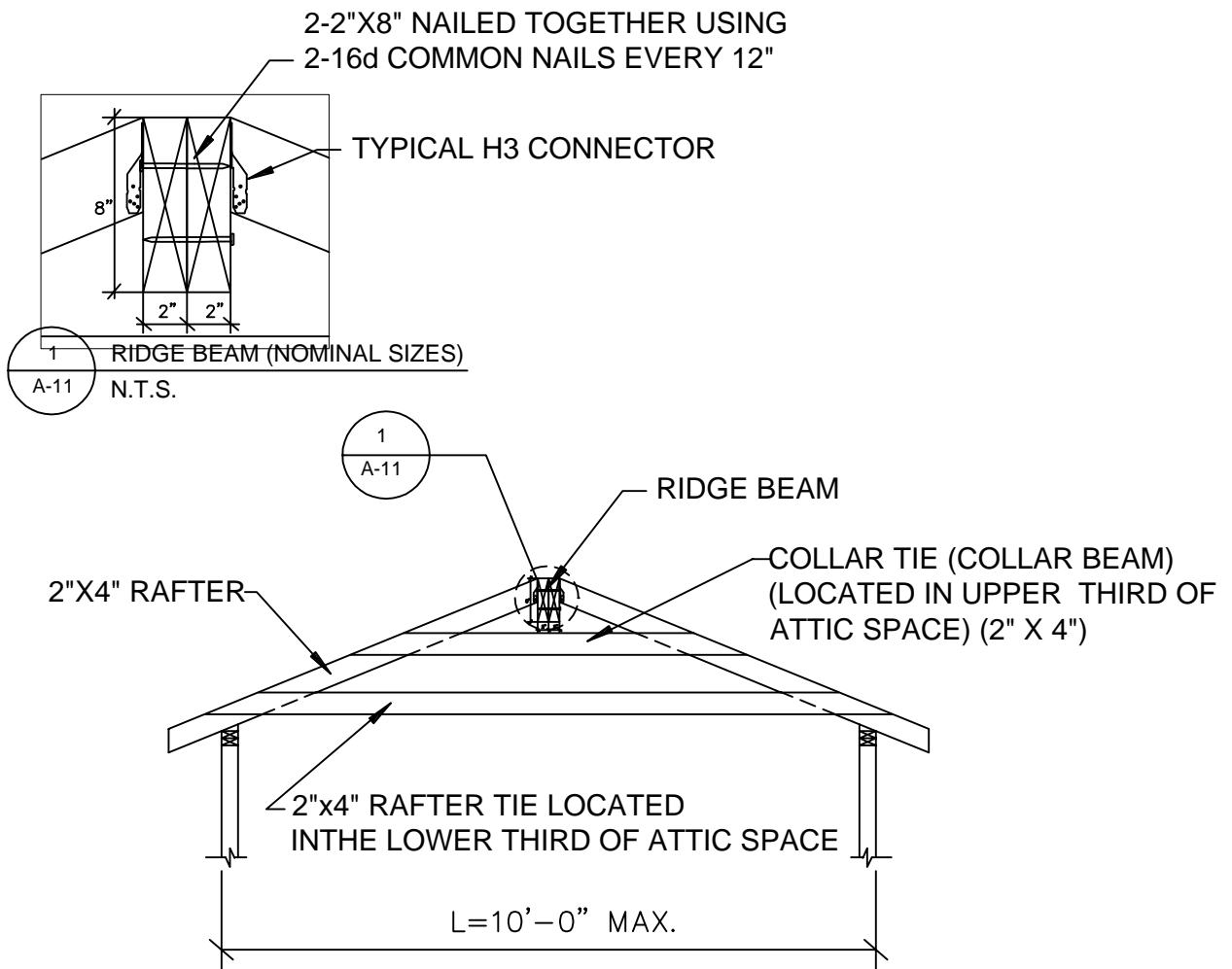
THIS DETAIL IS IN COMPLIANCE
WITH THE WIND LOAD PROVISIONS FOR 120 MPH
OF THE PRESCRIPTIVE DESIGN OF THE WOOD FRAME
CONSTRUCTION MANUAL (WFCM) 2001 EDITION

WOOD FRAMED
SHEDS

STANDARD DETAIL

CONNECTOR DETAILS

DETAIL NUMBER:		A-11	
SPEC. NUMBER:		45MM	
SCALE: N.T.S.			
DATE:	12/14/04	REVISION DATE:	3/15/05
DRAWN BY:	ANGEL	APPROVED BY:	



THIS DETAIL IS IN COMPLIANCE
WITH THE WIND LOAD PROVISIONS FOR 120 MPH
OF THE PRESCRIPTIVE DESIGN OF THE WOOD FRAME
CONSTRUCTION MANUAL (WFMC) 2001 EDITION

WOOD FRAMED
SHEDS

STANDARD DETAIL

RIDGE BEAM AND
COLLAR TIE DETAIL

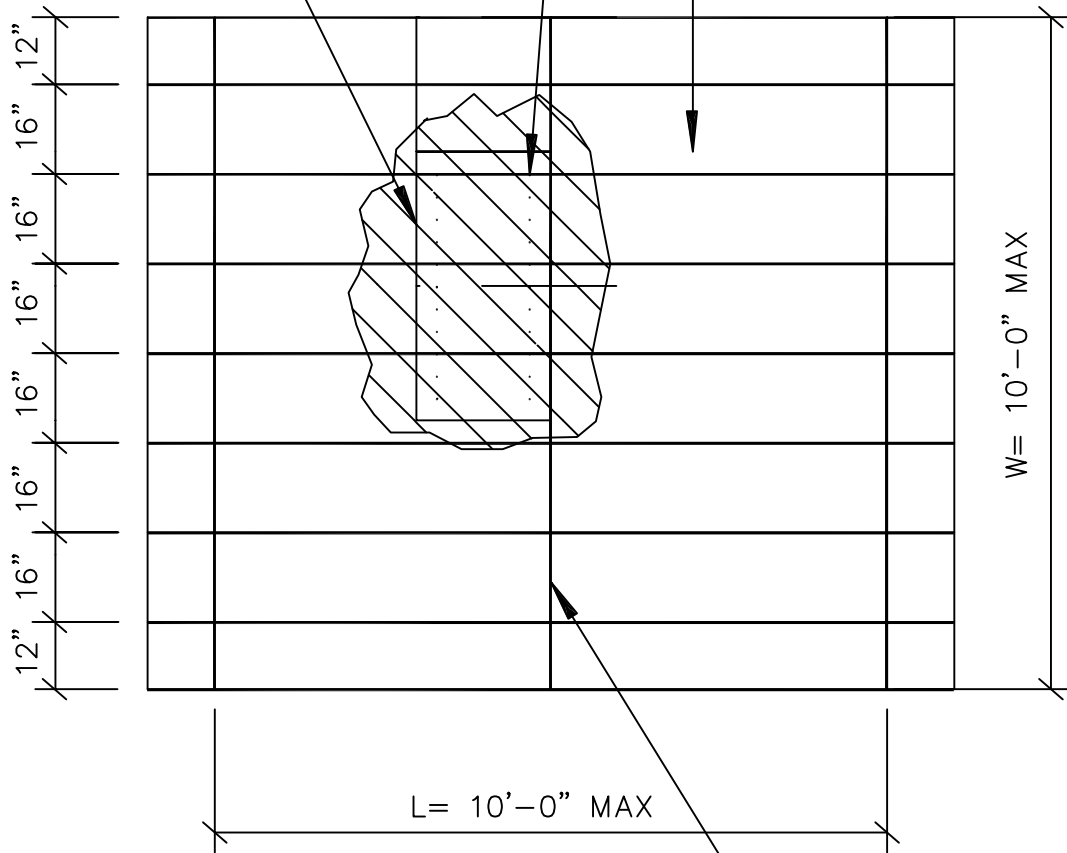
DETAIL NUMBER:		A-12	
SPEC. NUMBER:		45MM	
SCALE: 3/8"=1'-0"			
DATE:	12/14/04	REVISION DATE:	3/15/05
DRAWN BY:	ANGEL	APPROVED BY:	

8d COMMON NAILS
OR
10d BOX NAILS

6" O.C. AT EDGES
12" O.C. INTERMEDIATE

RAFTERS 16" O.C.

ROOF SHEATHING



L = 10'-0" MAX

W = 10'-0" MAX

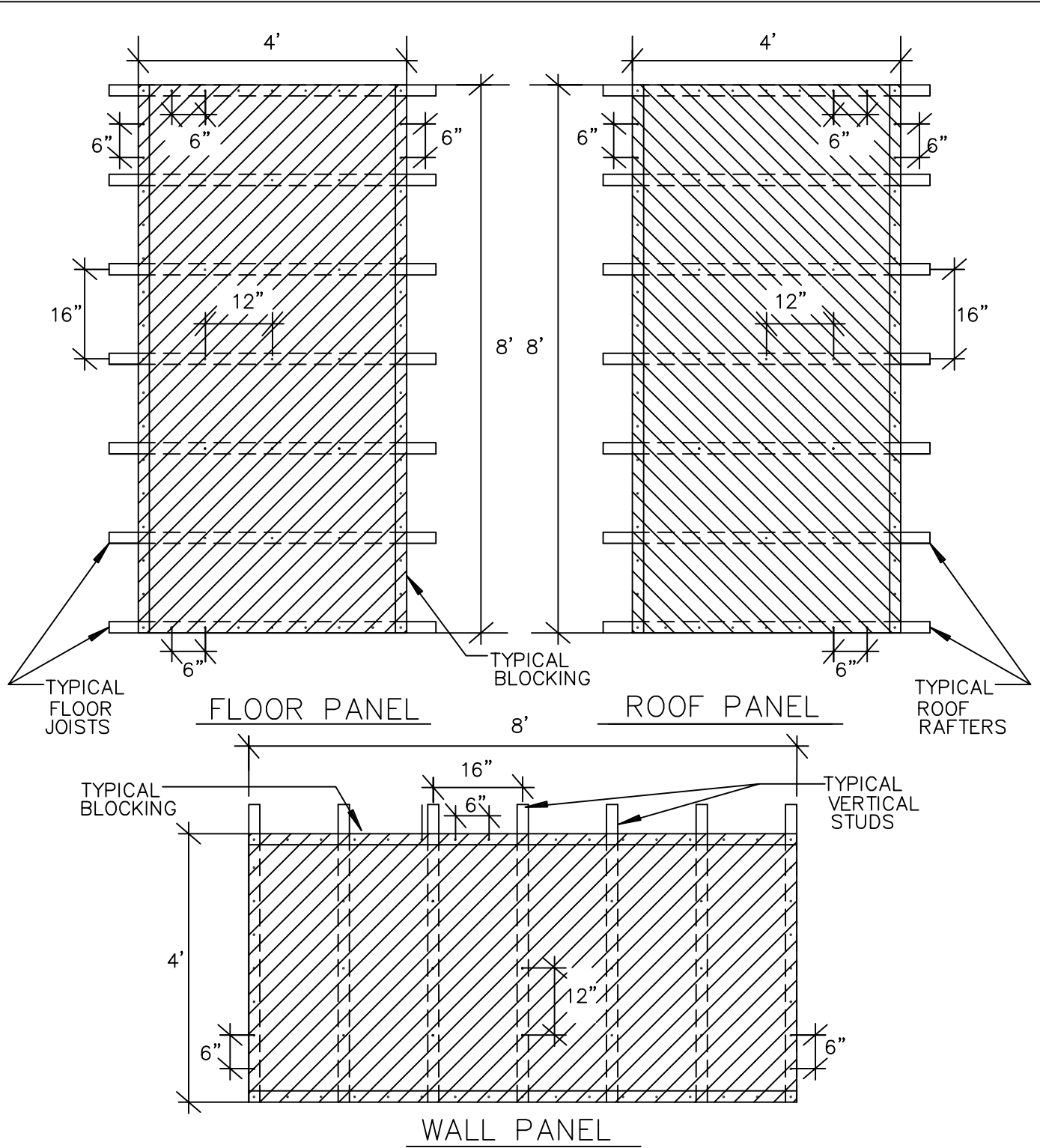
RIDGE BOARD

THIS DETAIL IS IN COMPLIANCE
WITH THE WIND LOAD PROVISIONS FOR 120 MPH
OF THE PRESCRIPTIVE DESIGN OF THE WOOD FRAME
CONSTRUCTION MANUAL (WFMC) 2001 EDITION

WOOD FRAMED
SHEDS

STANDARD DETAIL
ROOF FRAMING PLAN

DETAIL NUMBER:		A-13	
SPEC. NUMBER:		45MM	
SCALE: 3/8"=1'-0"			
DATE:	12/14/04	REVISION DATE:	3/15/05
DRAWN BY:	ANGEL	APPROVED BY:	



WOOD FRAMED
SHEDS

NAILING PATTERN

WOOD STRUCTURAL PANELS

DETAIL NUMBER:		A-14	
SPEC. NUMBER:		45MM	
SCALE: 3/8"=1'-0"			
DATE:	12/14/04	REVISION DATE:	3/15/05
DRAWN BY:	ANGEL	APPROVED BY:	